



Chapel Cottage Chapel Way, Childrey, Wantage

£2,200 PCM

- Four Bedrooms
- Drawing Room
- Master Bedroom with Ensuite
- Driveway Parking
- Available June 2022
- Detached
- Kitchen
- Garage
- Un-Furnished
- Viewings Recommended



DESCRIPTION

A stunning four bedroom thatched property located in the picturesque village of Childrey which benefits from a village shop, primary school and is only a short drive from Wantage.

The property boasts an excellent amount of space for a family, the accommodation includes drawing room, dining room, breakfast room, kitchen, four bedrooms the master with an ensuite, family bathroom and study.

There is also a garage, off street parking for two vehicles and enclosed gardens.

Available from 10/06/2022.

EPC rating E

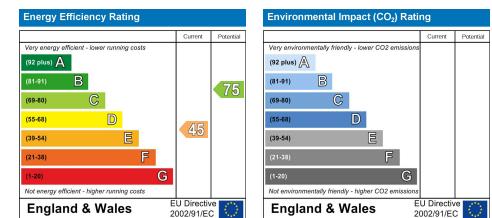
Council tax band F.

A non-refundable holding deposit the equivalent of one week's rent totalling £507.00 is required to reserve the property.



LOCATION

DIRECTIONS



Notice is given that all curtains, carpets, blinds, equipment, light fittings and fixtures, fitted or not may or may not be listed within the property inventory at the start of the tenancy.

Important Notice

Douglas and Simmons for themselves and for the Landlords of this property, whose agents they are, give notice that:-

1. The particulars are intended to give a fair and substantially correct overall description for the guidance of intended tenants and do not constitute part of an offer or contract.
2. All descriptions, dimensions, areas, reference to condition and necessary permissions for use and occupation and other details are given in good faith, and are believed to be correct, but any tenants should not rely on them as statements or representations of fact, but satisfy themselves by inspection or otherwise as to the correctness of each of them.
3. No person in the employment of Douglas and Simmons has any authority to make or give any representations or warranty whatever in relation to this property on behalf of Douglas and Simmons.
4. No responsibility can be accepted for any expenses incurred by intending tenants in inspecting properties which have been let or withdrawn.
5. All measurements are approximate



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